

ALTERATIONS & ADDITIONS

70 MACLEAY STREET, TURVEY PARK

LOT 1 DP 345139
LOT SIZE - 569.1m²
LGA: WAGGA WAGGA CITY COUNCIL

DESIGNED FOR:
PRUDENCE & KURT ALLEN

DRAWING SCHEDULE:

NO.	TITLE
A01	SITE PLAN
A02	EXISTING//DEMO PLAN
A03	FLOOR PLAN
A04	ELEVATIONS
A05	ELEVATIONS
A06	SECTION AA // DETAILS
A07	BASIX // DOOR + WINDOW SCHEDULE

BUILDING NOTES

ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO COMMENCEMENT OF WORKS, WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALING. THESE PLANS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER ASSOCIATED DOCUMENTS. LEVELS SHOWN ARE RELATIVE ONLY.

BUILDER TO ENSURE ALL UNDERGROUND SERVICES, PIPES AND CABLES TO BE LOCATED PRIOR TO EXCAVATION. CALL 'DIAL BEFORE YOU DIG' ON 1100 OR GO TO www.1100.com.au

SITE: THE BUILDER SHALL SUPPLY/INSTALL AND MAINTAIN THE FOLLOWING IN ACCORDANCE WITH LOCAL COUNCIL AUTHORITY:

- SEDIMENT CONTROL MEASURES
- STABILISED ENTRY POINT
- CONTROLLED RUBBISH AREA
- TOILET FACILITIES

COMPLIANCE: ALL BUILDING WORK TO COMPLY WITH THE 'NATIONAL CONSTRUCTION CODE' OF AUSTRALIA, AND ANY REFERENCED AUSTRALIAN STANDARDS AND LOCAL COUNCIL AUTHORITY REQUIREMENTS. ALL AREAS TO BE MADE GOOD BY THE BUILDER WHERE DISTURBED BY THE NEW WORK.

BASIX: BASIX - ALL SELECTIONS TO COMPLY WITH ENERGY EFFICIENCY PERFORMANCE REQUIREMENTS OF THE ASSOCIATED BASIX CERTIFICATE.

CONCRETE: ALL CONCRETE SLAB & FOOTINGS FOR CLASS 1 & 10a BUILDINGS TO COMPLY WITH AS 2870 'RESIDENTIAL SLAB & FOOTINGS'.

STORMWATER: DESIGN AND INSTALLATION TO COMPLY WITH AS/NZS 3500.3 - 2003 (PLUMBING AND DRAINAGE - STORMWATER DRAINAGE) OR AS/NZS 3500.5 - 2000 (NATIONAL PLUMBING AND DRAINAGE DOMESTIC INSTALLATIONS)

SEWER: DESIGN AND INSTALLATION TO COMPLY WITH AS/NZS 3500.2 - 2003 (PLUMBING AND DRAINAGE - SANITARY PLUMBING AND DRAINAGE) OR AS/NZS 3500.5

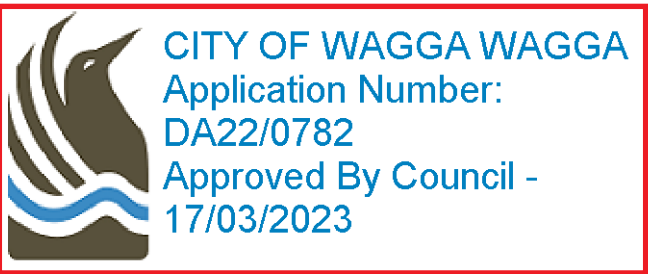
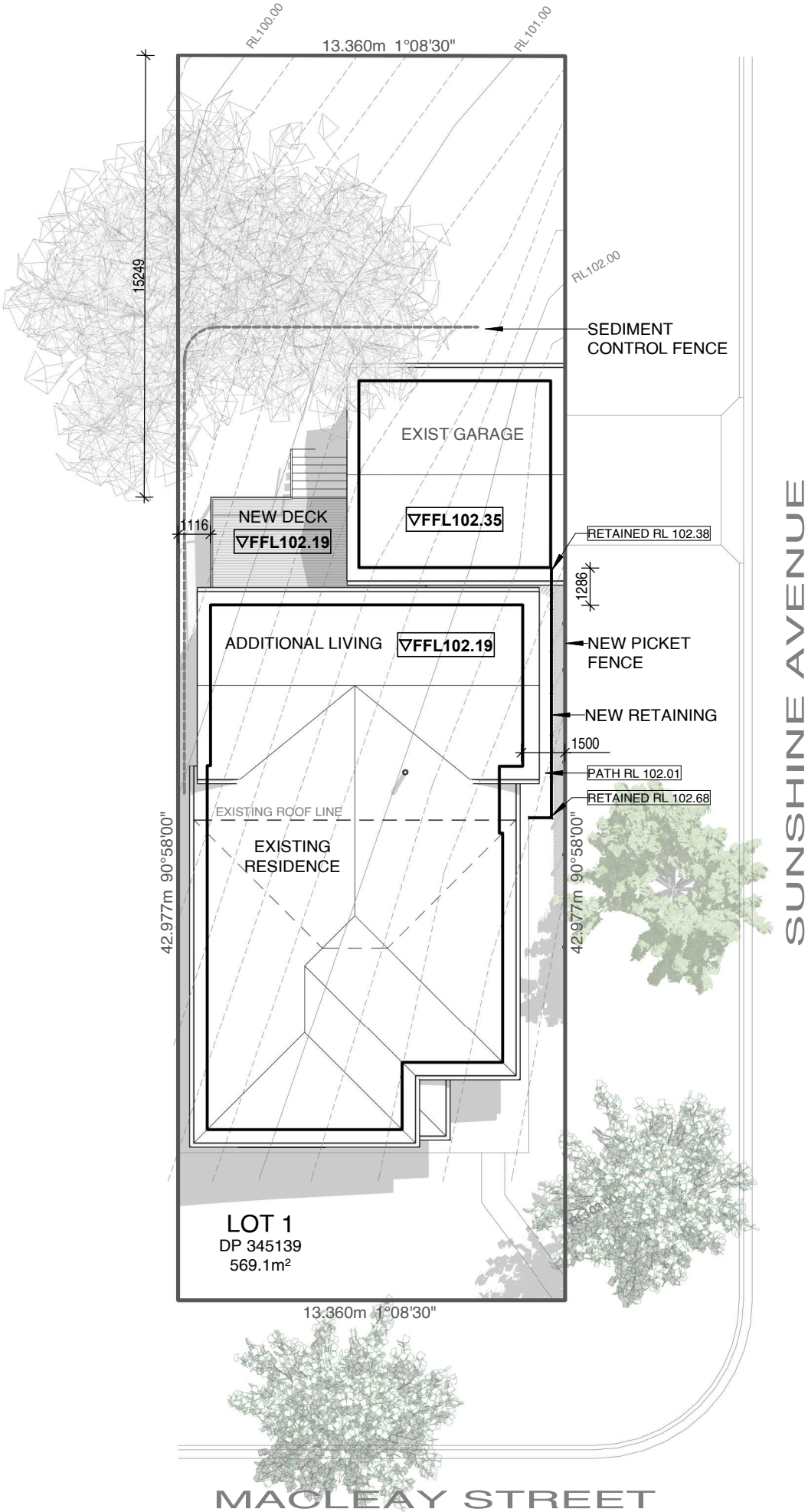
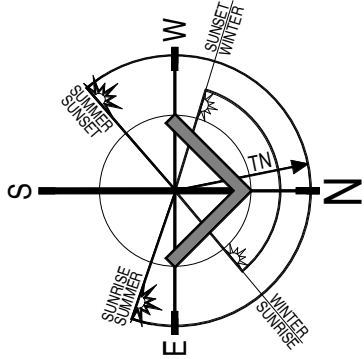
TERMITE PROTECTION: PROVIDE PHYSICAL AND CHEMICAL TERMITE BARRIERS IN ACCORDANCE WITH BCA VOL 2, PART 3.1.3 TERMITE RISK MANAGEMENT AND AS 3660.1.

MASONRY: TO BE IN ACCORDANCE WITH AS 3700 (MASONRY STRUCTURES).

ELECTRICAL: DESIGN AND INSTALLATION TO COMPLY WITH AS/NZS 3018 -2001 (ELECTRICAL INSTALLATIONS - DOMESTIC INSTALLATIONS)

WET AREA WATERPROOFING: TO BE IN ACCORDANCE WITH BCA VOL 2 PART 3.8.1 WET AREAS AND EXTERNAL WATERPROOFING AND MATERIALS SELECTION, SYSTEM DESIGN AS PER AS 4654.

GLAZING: SELECTION AND INSTALLATION TO AS 2047 AND GLASS TYPE AND THICKNESS TO AS 1288. ALL OTHER COMPONENTS TO COMPLY WITH RELATIVE STANDARDS.



SITE PLAN

SCALE AT A3 1:200



FINE EYE
DESIGNS

0499 783 056

we.erg@fineeyedesigns.com.au

Document Set ID: 565998

Version: 1, Version Date: 25/03/2022

PROJECT

ALTERATIONS & ADDITIONS

70 MACLEAY STREET

TURVEY PARK NSW 2650

DRAWING TITLE

SITE PLAN

CLIENT

ALLEN

DATE // TIME

21/12/2022 12:05:51 PM

SCALE

AS SHOWN

REVISION NO.

A

PROJECT ID

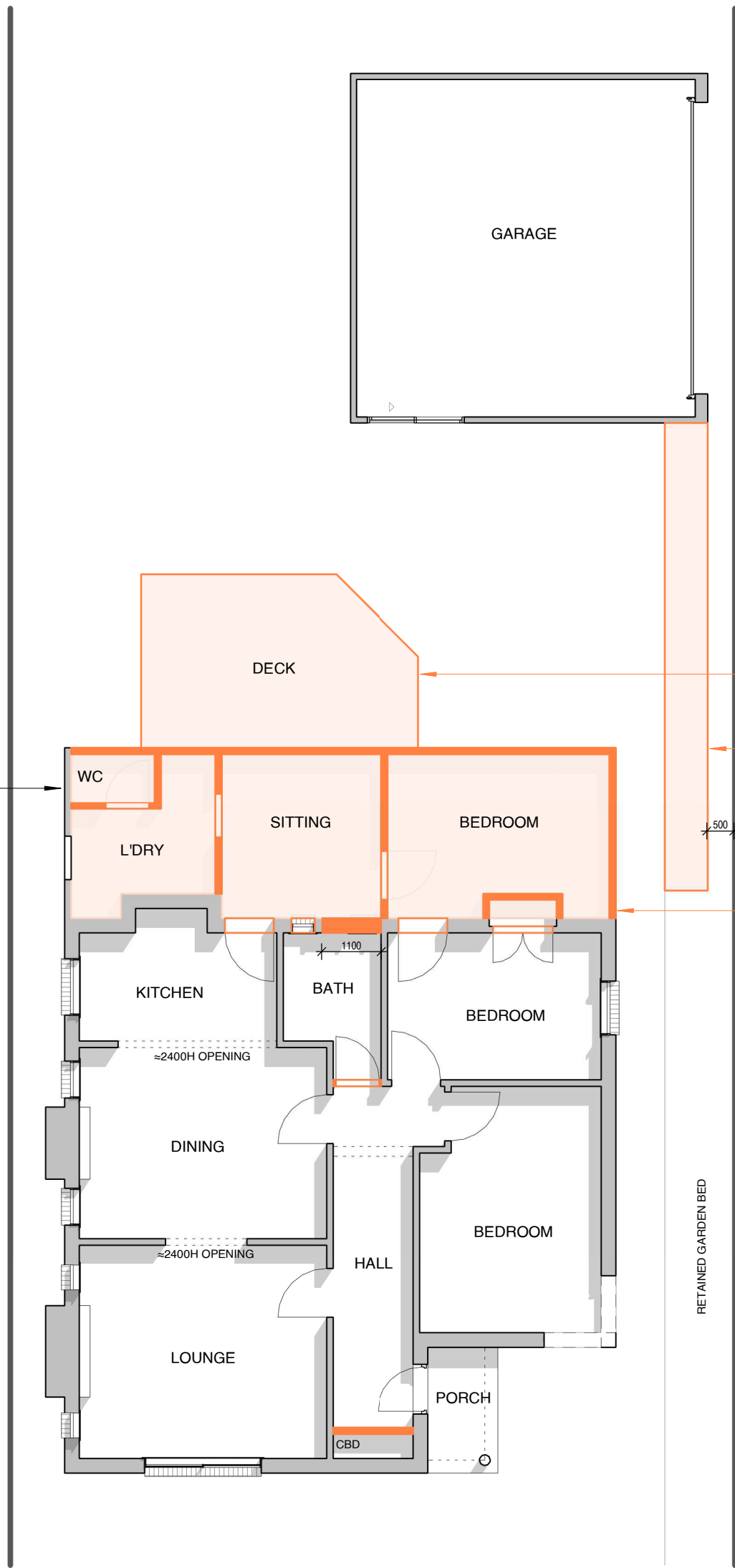
38FED22

DRAWING NO.

A01



RETAIN EXISTING SINGLE
SKINNED BRICK WORK
ALONG EXISTING LAUNDRY
WALL IF POSSIBLE C.O.S.



REMOVE EXISTING DECK
AND ROOF STRUCTURE
ABOVE

REMOVE PORTION OF EXISTING
RETAINED GARDEN BED

REMOVE REAR SKILLION
SECTION AS INDICATED
INCLUDING ENTIRE ROOF
AND FLOOR STRUCTURE

RETAINED GARDEN BED

EXISTING//DEMO PLAN

SCALE AT A3 1:100



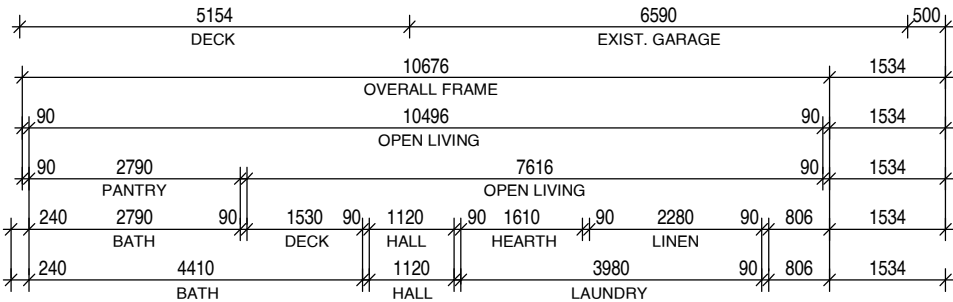
EXISTING AREAS

LIVING -	128m ²
DECK -	15m ²
GARAGE -	42m ²
PORCH -	3m ²
TOTAL -	188m ²



CITY OF WAGGA WAGGA
Application Number:
DA22/0782
Approved By Council -
17/03/2023

DIMENSION NOTE: FOR CLARITY OF PLAN - INTERNAL WALL DIMENSIONS HAVE BEEN LEFT OFF THIS PLAN. ALL INTERNAL WALL FRAMES ARE TO BE READ AS 90mm TIMBER STUD FRAMING, IN ACCORDANCE WITH AS 1684.



- ① BEDROOM
- ② OPEN LIVING
- ③ ENTRY
- ④ DECK
- ⑤ HALLWAY
- ⑥ EXISTING GARAGE
- ⑦ PORCH
- ⑧ BATHROOM
- ⑨ LAUNDRY
- ⑩ WALK IN ROBE
- ⑪ ENSUITE



TIMBER STAIRS DOWN TO COMPLY WITH THE NCC PART 3.9.1 'STAIRWAY & RAMP CONSTRUCTION'

SELECT BALUSTRADE TO COMPLY WITH THE NCC PART 3.9.2 'BARRIERS & HANDRAILS'

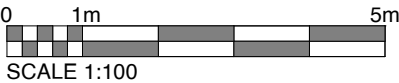
325 JH VERTICAL CLADDING FIXED TO CASTELLATED BATTEN

FILL EXISTING OPENING IN TO CREATE SEPARATE ENS. AND WIR

FILL EXISTING DOOR OPENING AND LINE EXISTING WALL EITHER SIDE WITH NEW PLASTERBOARD, BUTT INTO EXISTING CORNICE - PAINT TO FINISH

FLOOR PLAN

SCALE AT A3 1:100



PROJECT AREAS

EXISTING LIVING -	97m ²
NEW LIVING -	82m ²
NEW DECK -	22m ²
EXISTING GARAGE -	42m ²
EXISTING PORCH -	3m ²
TOTAL -	246m ²



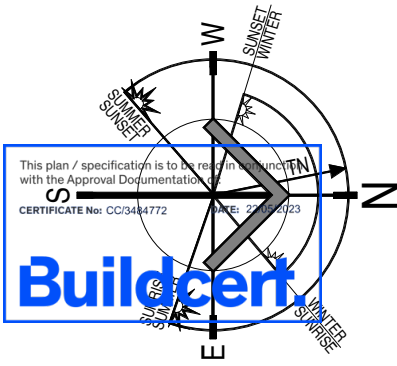
CITY OF WAGGA WAGGA
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INDICATES HARDWIRED SMOKE DETECTORS (INTERCONNECTED) IN ACCORDANCE WITH AS 3786 -1993, SMOKE ALARMS

FLOOR FINISHES

- CARPET
- TILES
- TIMBER FLOORING
- CONCRETE
- TIMBER DECKING

- BR BROOM CUPBOARD
- CBD CUPBOARD
- CT COOKTOP (900)
- CSD CAVITY SLIDER DOOR
- DP 75mm ROUND DOWNPIPE
- DW DISHWASHER
- DR DRYER
- FG FIXED SHOWER GLASS
- FW FLOOR WASTE
- N NICHE
- NW NIB WALL
- OV OVEN (900)
- RH RANGEHOOD (900)
- SC SHOWER CHANNEL
- SH SHELF
- SHC SHAVING CABINET
- SL SKYLIGHT
- SS SQUARE SET
- TH TILED HOB
- TR TOWEL RAIL
- TS TILED SEAT
- TV TELEVISION
- UBO UNDER BENCH OVEN (900)
- WC WATER CLOSET
- WM WASHING MACHINE



This plan / specification is to be read in conjunction with the Approval Documentation.
CERTIFICATE No: CC/344772 DATE: 27/03/2023

Buildcert

FINE EYE
DESIGNS

0499 783 056

we are @fineeyedesigns.com.au

Document Set ID: 5853988

Version: 1, Version Date: 25/03/2023

PROJECT

ALTERATIONS & ADDITIONS

70 MACLEAY STREET

TURVEY PARK NSW 2650

DRAWING TITLE
FLOOR PLAN

CLIENT
ALLEN

DATE // TIME
21/12/2022 12:05:51 PM

SCALE
AS SHOWN

REVISION NO.

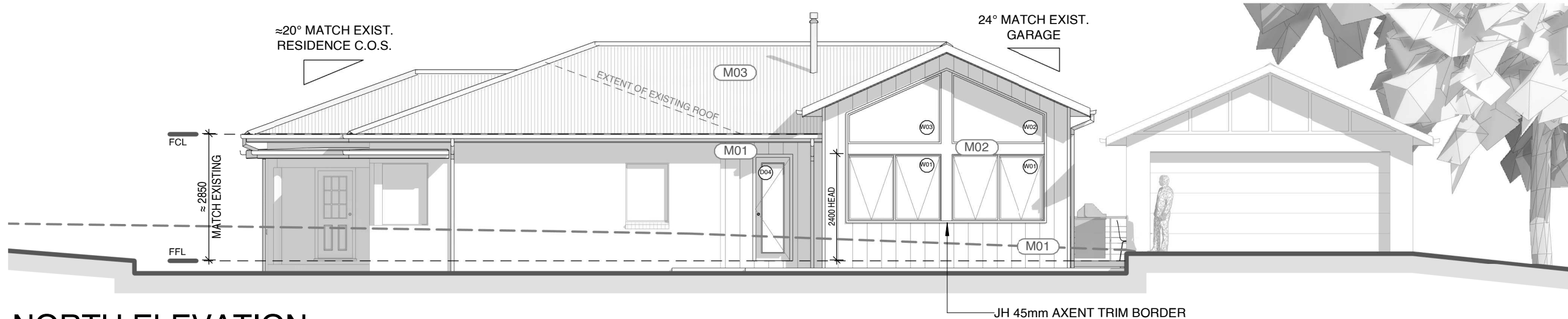
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PROJECT ID
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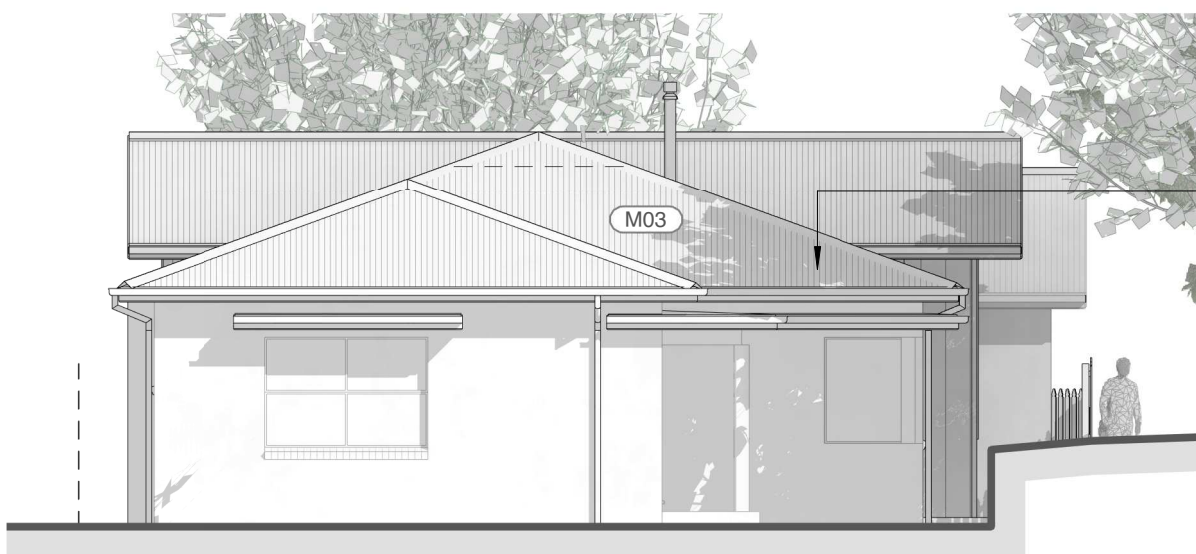
DRAWING NO.

A03

bdp

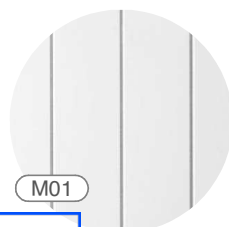
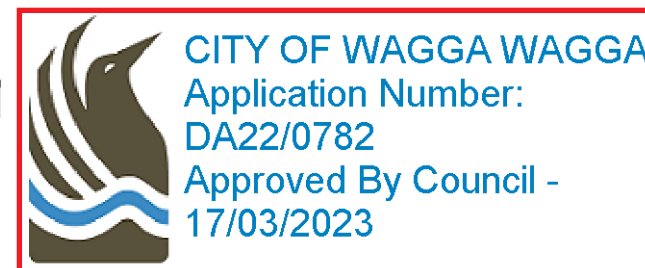


NORTH ELEVATION
SCALE AT A3 1:100

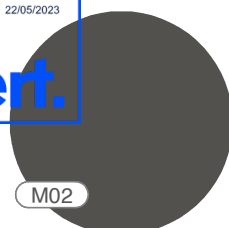


EAST ELEVATION
SCALE AT A3 1:100

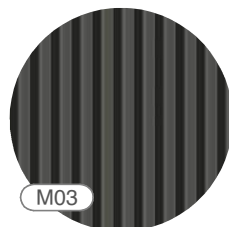
NEW ROOF SHEETING, FASCIA GUTTERS
AND DOWNPIPES TO EXISTING RESIDENCE
IN COLORBOND "WOODLAND GREY"



JH 325 VERTICAL STRIA
CLADDING PAINTED IN A
SELECT WHITE COLOUR



FLAT FC SHEETING
PAINTED IN
"WOODLAND GREY"
EQUIV. PAINT

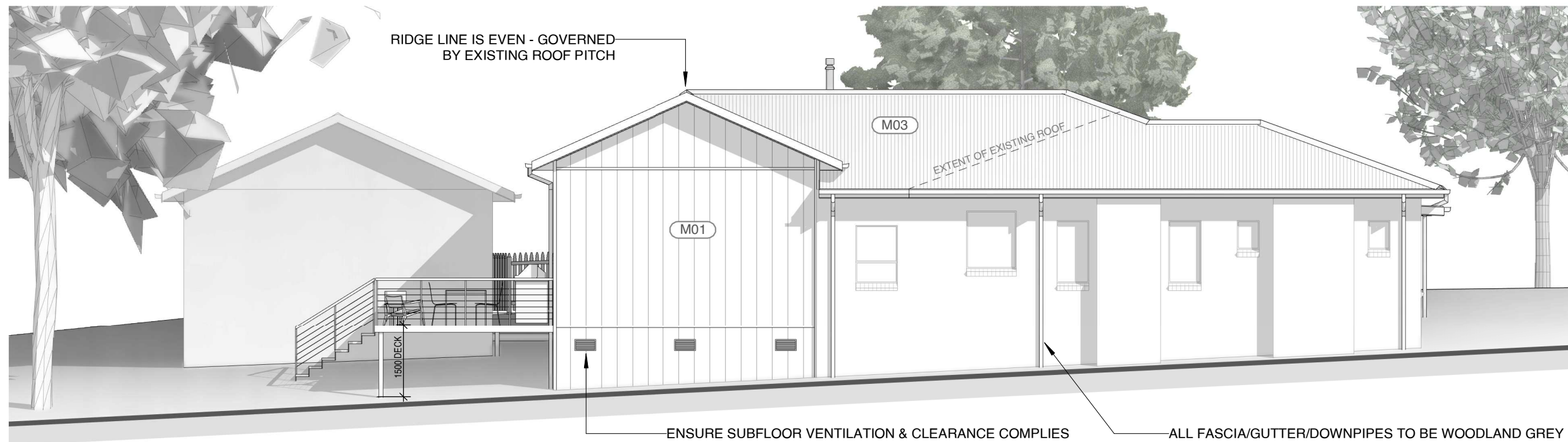


METAL, CUSTOM ORB
PROFILED ROOF
SHEETING IN COLORBOND
"WOODLAND GREY"

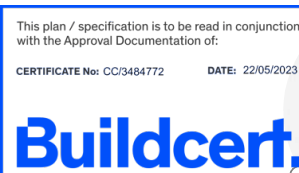


BLACK FINISH TO ALL
ALUMINIUM WINDOW AND
DOOR FRAMES

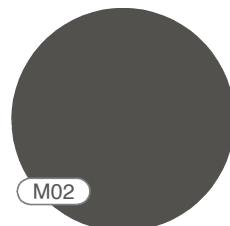
MATERIALS + FINISHES



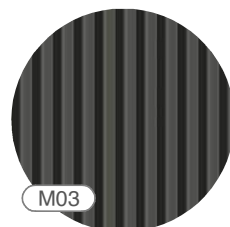
SOUTH ELEVATION
SCALE AT A3 1:100



JH 325 VERTICAL STRIA
CLADDING PAINTED IN A
SELECT WHITE COLOUR



FLAT FC SHEETING
PAINTED IN
"WOODLAND GREY"
EQUIV. PAINT

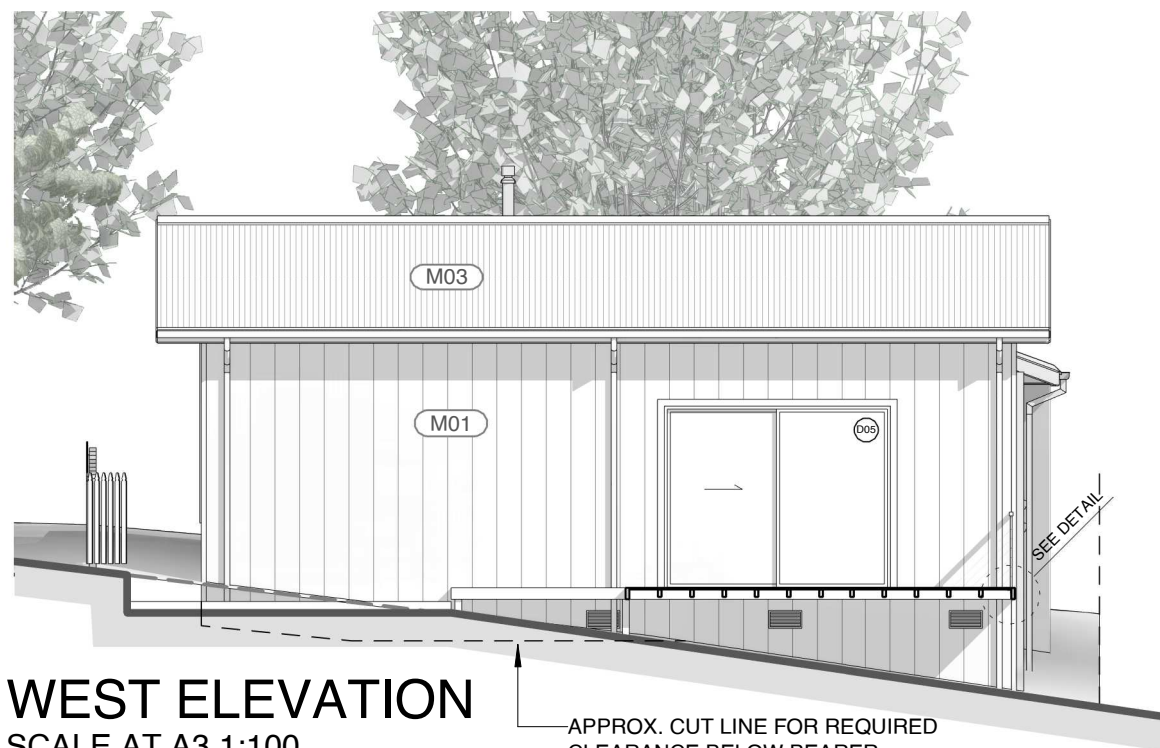
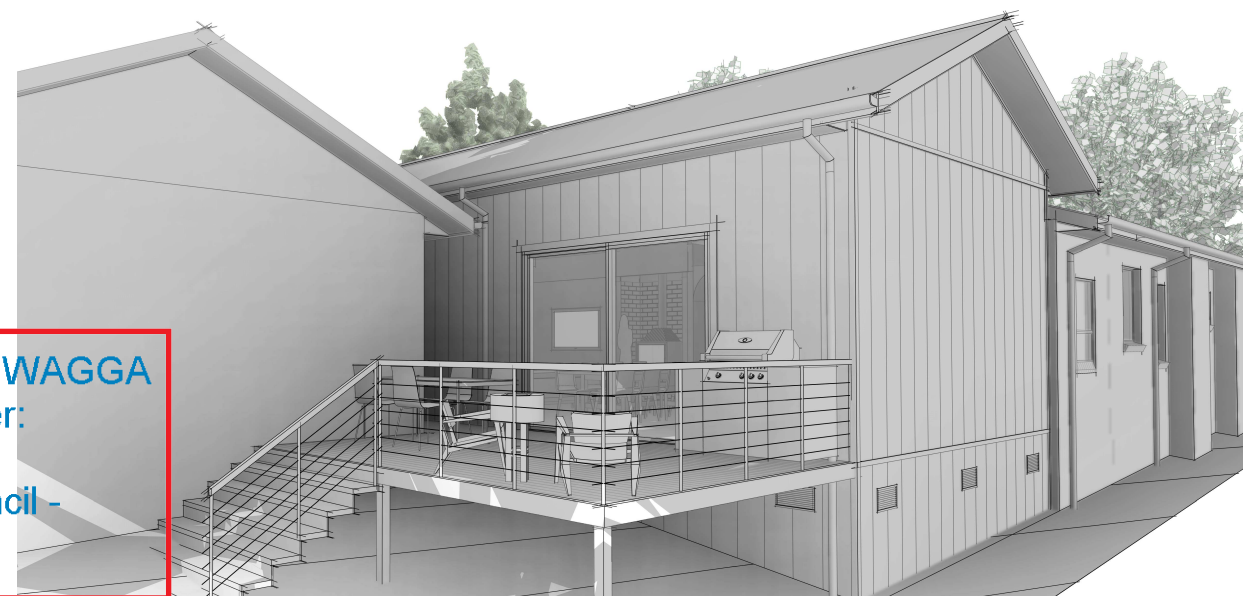
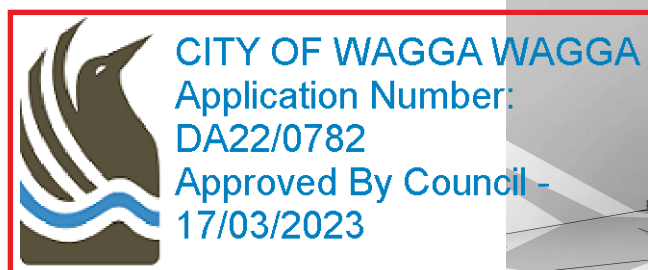


METAL, CUSTOM ORB
PROFILED ROOF
SHEETING IN COLORBOND
"WOODLAND GREY"

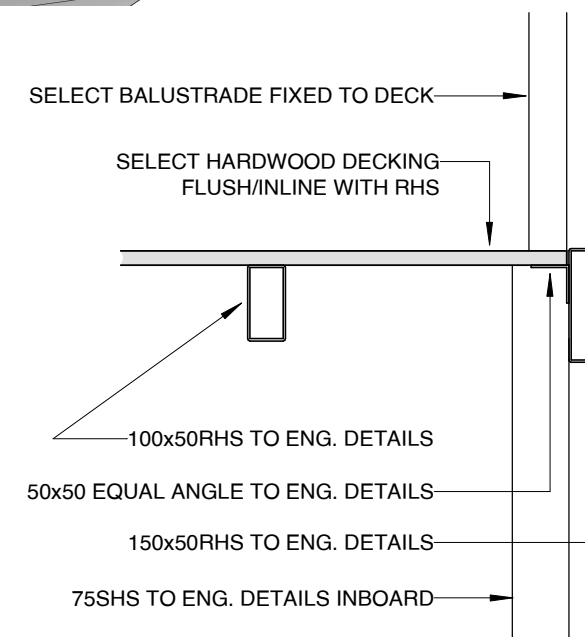


BLACK ALUMINIUM
WINDOW AND DOOR
FRAMES

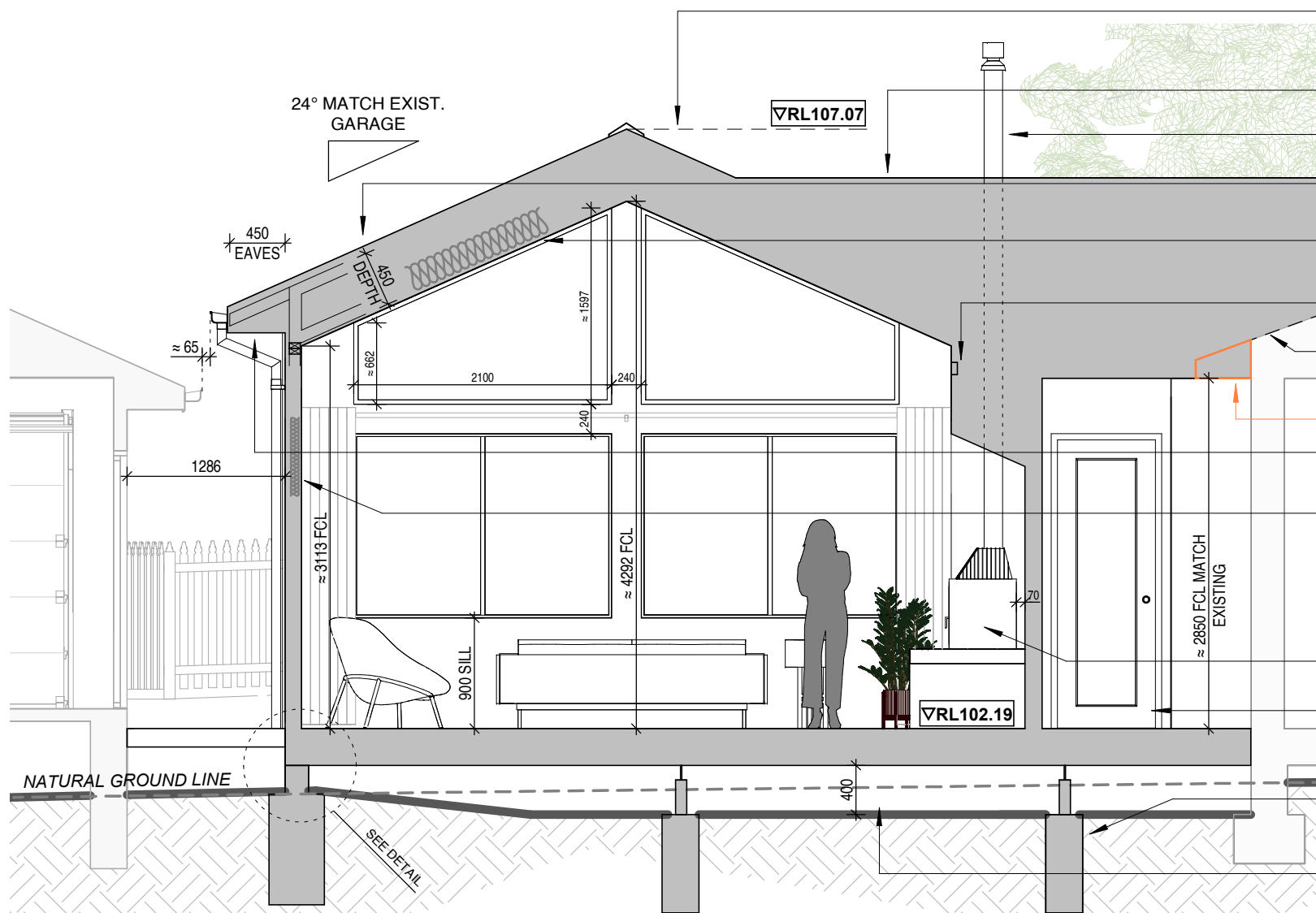
MATERIALS + FINISHES



WEST ELEVATION
SCALE AT A3 1:100



DECK DETAIL
SCALE AT A3 1:10



SECTION A-A
SCALE AT A3 1:50

OVERALL HEIGHT IS GOVERNED BY THE EXISTING RIDGE LINE AND WHERE IT MEETS THE SCISSOR TRUSS RIDGE (TO BE EQUAL HEIGHT)

COLORBOND CUSTOM ORB METAL ROOF SHEETING - PROVIDE MIN. REFLECTIVE FOIL/SARK BELOW. TIMBER TRUSSES TO MANUFACTURERS SPECIFICATIONS AND AS 1684.

FLUE KIT INSTALLED TO MANUFACTURERS SPECIFICATIONS

450 SCISSOR TRUSS DEPTH PREFERRED (NO DUCTWORK TO RUN THROUGH TRUSS) TBC WITH TRUSS MANUFACTURER

PLASTERBOARD CEILING LINING FIXED TO STEEL FURRING CHANNEL. INSTALL **R5.0 BULK CEILING INSULATION** ABOVE (R3.50 BASIX MIN.)

A/C DUCTWORK TO RUN TO LINEAR SLOT DIFFUSERS ON OPEN LIVING WALL

EXTENT OF EXISTING RESIDENCE REMAINING - SADDLE IN NEW TIMBER ROOF TRUSSES TO TRUSS MANUFACTURERS DETAILS

REMOVE EXISTING TRUSS TAILS AS REQUIRED

450mm EAVES - COLORBOND FASCIA AND GUTTERS AS SELECTED - FC EAVES LININGS TO UNDERSIDE OF EAVES, SELECT WHITE PAINT TO FINISH

PLASTERBOARD WALL LINING FIXED TO TIMBER STUDS. WATERPROOF PLASTERBOARD OR EQUIV. TO ALL WET AREAS TO BE WATERPROOFED IN ACCORDANCE WITH NCC PART 3.8.1 - TIMBER FRAMED CONSTRUCTION TO COMPLY WITH AS1684 - TO MANUFACTURERS SPECIFICATIONS. INSTALL MIN. **R2.5 BULK WALL INSULATION** TO ALL EXTERNAL WALLS (R1.70 BASIX MIN.)

SELECT FIREPLACE INSTALLED TO MANUFACTURERS SPECIFICATIONS

BLACK ALUMINUM FRAMED WINDOWS AND EXTERNAL DOORS AS SELECTED AND AS SPECIFIED IN SCHEDULE (TO MEET OR EXCEED BASIX GLAZING PERFORMANCE MINS.)

FOOTINGS DETAILS TO ENGINEERS DESIGN - TO COMPLY WITH AS 2870 'RESIDENTIAL SLAB & FOOTINGS'. PROVIDE PHYSICAL AND CHEMICAL TERMITE BARRIERS IN ACCORDANCE WITH BCA VOL 2, PART 3.1.3 TERMITE RISK MANAGEMENT AND AS 3660.1. FLOOR FINISHES AS SELECTED OR SPECIFIED.

ENSURE SUBFLOOR VENTILATION & CLEARANCE COMPLIES WITH THE NCC PART 3.4.1 SUBFLOOR VENTILATION'

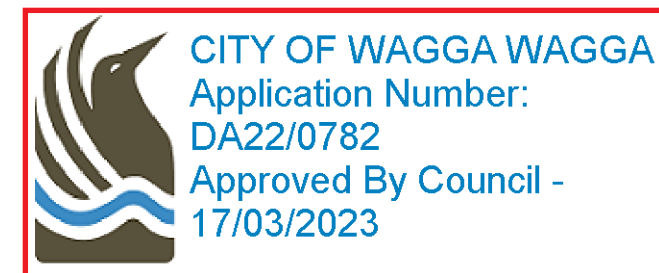
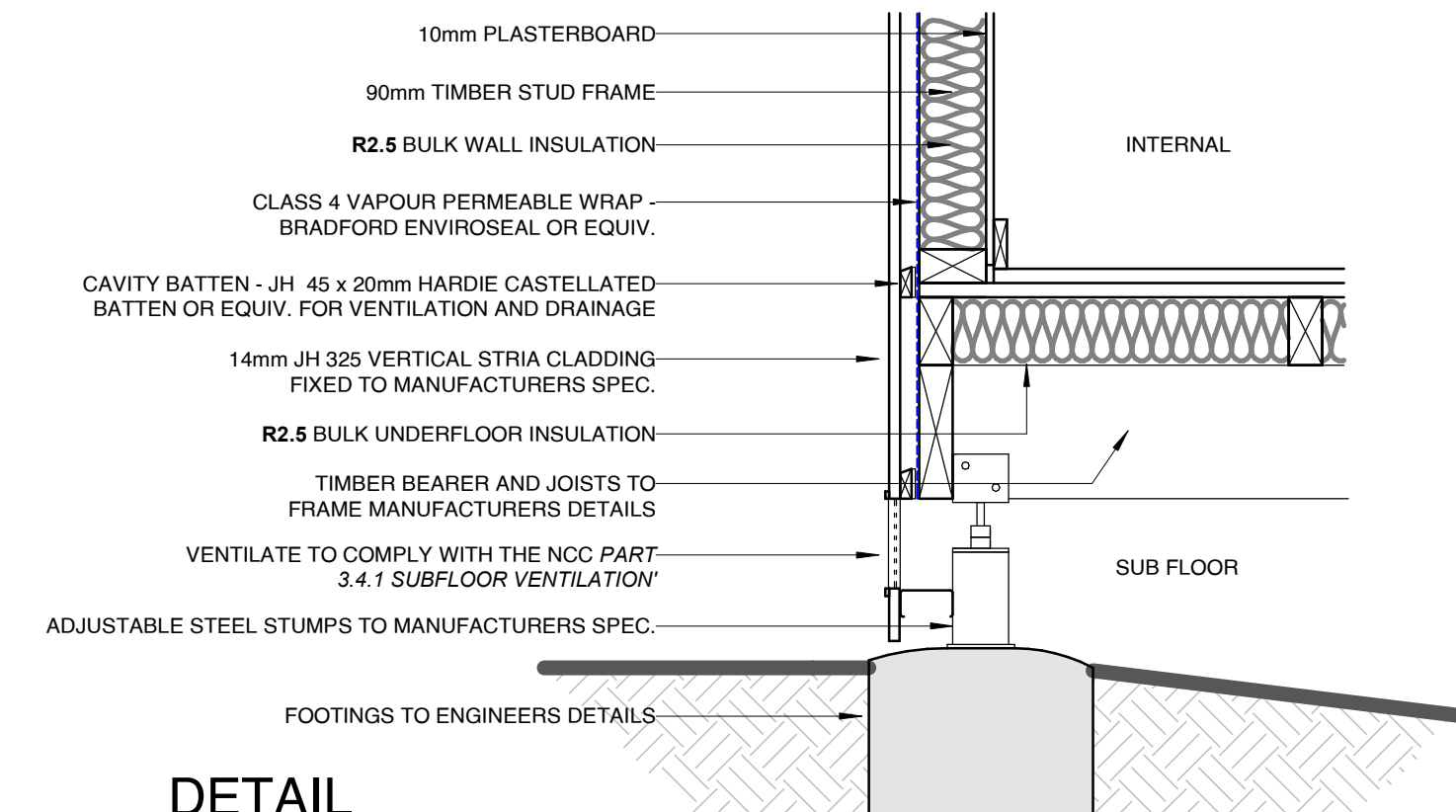
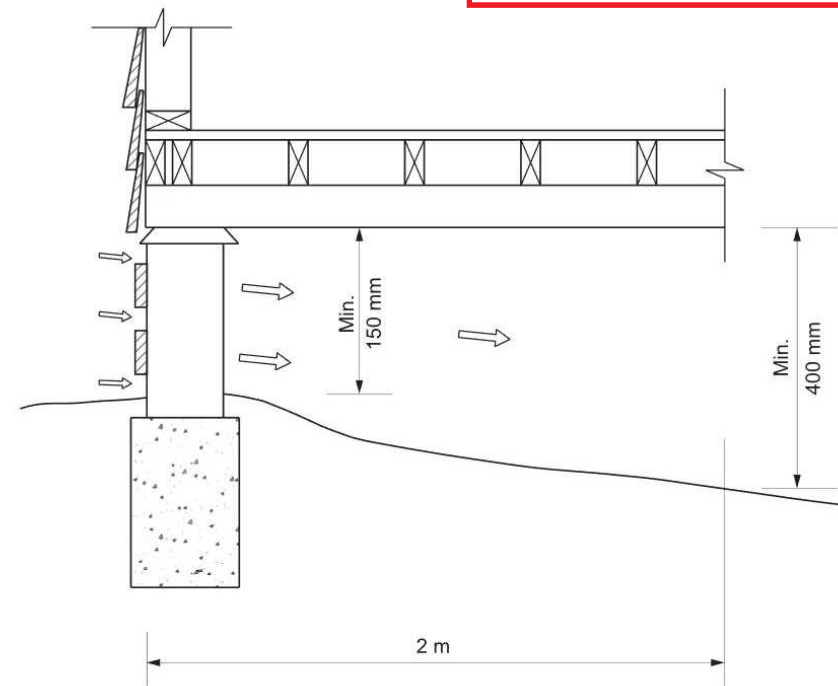


Figure 3.4.3b Subfloor clearance requirements



DETAIL
SCALE AT A3 1:10



This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Wednesday, 21, December 2022
To be valid, this certificate must be lodged within 3 months of the date of issue.





CITY OF WAGGA WAGGA

Application Number:
DA22/0782

Approved By Council -
17/03/2023

Project address	
Project name	38FED22 - 70 Macleay St
Street address	70 Macleay Street Turvey Park 2650
Local Government Area	Wagga Wagga City Council
Plan type and number	Deposited Plan 345139
Lot number	1
Section number	
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa).

Certificate Prepared by (please complete before submitting to Council or PCA)
Name / Company Name: Fine Eye Designs
ABN (if applicable): 25684058718

Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Hot water			
The applicant must install the following hot water system in the development: electric heat pump system that is eligible to create Renewable Energy Certificates under the (Commonwealth) Renewable Energy (Electricity) Regulations 2001 (incorporating Amendment Regulations 2005 (No. 2)).	✓	✓	✓
Lighting			
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✓	✓
Fixtures			
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.		✓	✓
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.		✓	✓
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		✓	

Construction	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Insulation requirements			
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.	✓	✓	✓
Construction	Additional insulation required (R-value)	Other specifications	
suspended floor with enclosed subfloor: framed (R0.7).	R1.00 (down) (or R1.70 including construction)		
external wall: framed (weatherboard, fibro, metal clad)	R1.70 (or R2.10 including construction)		
flat ceiling, pitched roof	ceiling: R3.50 (up), roof: foil/sarking	medium (solar absorptance 0.475 - 0.70)	
raked ceiling, pitched/skillion roof: framed	ceiling: R3.50 (up), roof: foil/sarking	medium (solar absorptance 0.475 - 0.70)	

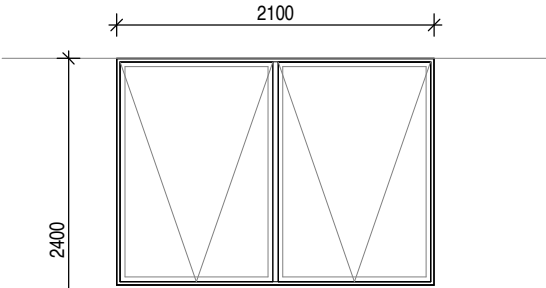
WINDOW + DOOR SCHEDULE

SCALE AT A3 1:50

GLAZING NOTES

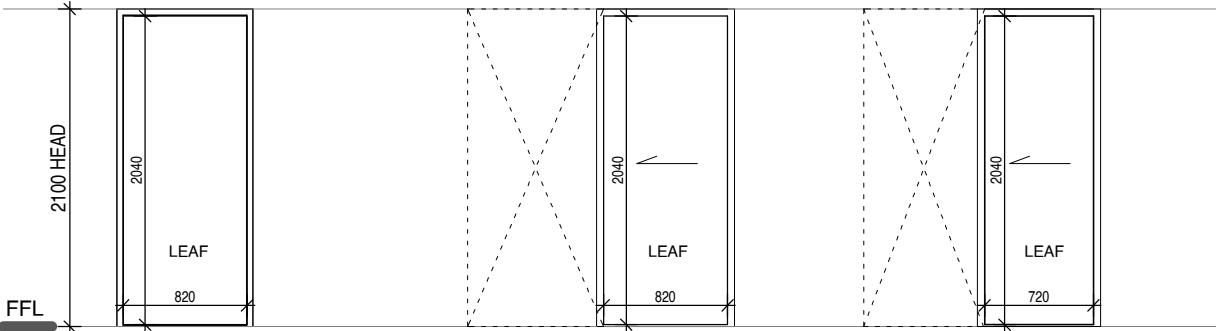
W02//W03 REFER TO SECTION ON A06

- ALL WINDOWS & GLAZED DOOR INSTALLATION TO COMPLY WITH AS 2047 AND AS 1288. BUSHFIRE PRONE AREAS TO COMPLY WITH AS 3959 - REFER TO BUSHFIRE NOTES FOR BUSHFIRE ATTACK LEVEL (BAL) (IF APPLICABLE TO PROJECT).
- WINDOW FRAME AND GLAZING PERFORMANCE LEVELS TO MEET OR EXCEED BASIX CERTIFICATE REQUIREMENTS.
- BUILDER TO ADVISE FRAMING MANUFACTURER OF SELECTED WINDOW MANUFACTURERS AS STANDARD WINDOW SIZES VARY SLIGHTLY BETWEEN MANUFACTURERS.
- ALL WINDOW AND DOOR DIMENSIONS TO BE CHECKED ON SITE PRIOR TO FABRICATION.
- ALL OPERABLE WINDOWS TO BE FITTED WITH SEALS AND TIGHT FITTING FLY SCREENS.
- EXTERNAL DOORS TO BE FITTED WITH WEATHER SEALS ALL ROUND.



FFL

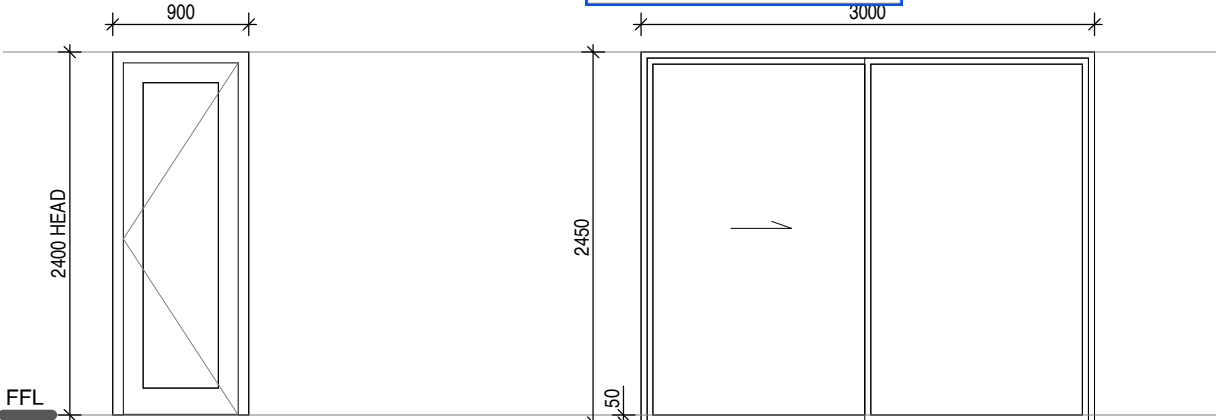
NO. W01
TOTAL UNITS: 2
FRAME: ALUMINIUM
GLAZING: DBL (LIGHTBRIDGE)
TYPE: AWNING WINDOW
EXT. FINISH: BLACK
COMMENT: INSECT SCREENS
HEAD: 2400mm FINISHED HEAD



NO. D01
TOTAL UNITS: 3
FRAME: TIMBER
GLAZING: NA
TYPE: FLUSH INT. HINGED DOOR
EXT. FINISH: AS SELECTED
COMMENT: FLUSH 35mm TYP.
HEAD: 2100mm FINISHED HEAD

NO. D02
TOTAL UNITS: 1
FRAME: TIMBER
GLAZING: NA
TYPE: FLUSH INT. POCKET DOOR
EXT. FINISH: AS SELECTED
COMMENT: FLUSH 35mm TYP.
HEAD: 2100mm FINISHED HEAD

NO. D03
TOTAL UNITS: 1
FRAME: TIMBER
GLAZING: NA
TYPE: FLUSH INT. POCKET DOOR
EXT. FINISH: AS SELECTED
COMMENT: FLUSH 35mm TYP.
HEAD: 2100mm FINISHED HEAD



NO. D04
TOTAL UNITS: 1
FRAME: ALUMINIUM
GLAZING: DBL (LIGHTBRIDGE)
TYPE: EXT. HINGED DOOR
EXT. FINISH: BLACK
COMMENT: INCLUDE EXT. MESH HINGED DOOR
HEAD: 2400mm FINISHED HEAD

NO. D05
TOTAL UNITS: 1
FRAME: ALUMINIUM
GLAZING: DBL (LIGHTBRIDGE)
TYPE: EXT. SLIDING DOOR
EXT. FINISH: BLACK
COMMENT: INCLUDE EXT. MESH SLIDING DOOR
HEAD: 2400mm FINISHED HEAD

RECESS FLUSH WITH INTERNAL FLOOR

BASIX[®]Certificate

Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number: A484586

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary

Date of issue: Wednesday, 21, December 2022

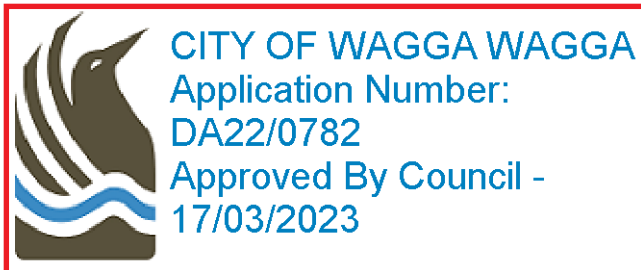
To be valid, this certificate must be lodged within 3 months of the date of issue.



Buildcert.



Planning,
Industry &
Environment



Description of project

Project address	
Project name	38FED22 - 70 Macleay St
Street address	70 Macleay Street Turvey Park 2650
Local Government Area	Wagga Wagga City Council
Plan type and number	Deposited Plan 345139
Lot number	1
Section number	
Project type	
Dwelling type	Separate dwelling house
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Hot water				
The applicant must install the following hot water system in the development: electric heat pump system that is eligible to create Renewable Energy Certificates under the (Commonwealth) Renewable Energy (Electricity) Regulations 2001 (incorporating Amendment Regulations 2005 (No. 2)).		✓	✓	✓
<div data-bbox="593 443 817 566" data-label="Text"> <p>This plan / specification is to be read in conjunction with the Approval Documentation of:</p> <p>CERTIFICATE No: CC/3484772 DATE: 22/05/2023</p> <p>Buildcert</p> </div>			✓	✓
Lighting				
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.			✓	✓
Fixtures				
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.			✓	✓
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.			✓	✓
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.			✓	

Construction			Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Insulation requirements					
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m ² , b) insulation specified is not required for parts of altered construction where insulation already exists.			✓	✓	✓
Construction	Additional insulation required (R-value)	Other specifications			
suspended floor with enclosed subfloor: framed (R0.7).	R1.00 (down) (or R1.70 including construction)				
external wall: framed (weatherboard, fibro, metal clad)	R1.70 (or R2.10 including construction)				
flat ceiling, pitched roof	ceiling: R3.50 (up), roof: foil/sarking	medium (solar absorptance 0.475 - 0.70)			
raked ceiling, pitched/skillion roof: framed	ceiling: R3.50 (up), roof: foil/sarking	medium (solar absorptance 0.475 - 0.70)			



Glazing requirements							Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
<div> <div> This plan / specification is to be read in conjunction with the Approval Documentation of: CERTIFICATE No: CC3484772 DATE: 22/05/2023 </div> <div>Buildcert.</div> </div>									
Windows and glazed doors									
<p>The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.</p> <p>The following requirements must also be satisfied in relation to each window and glazed door:</p> <p>Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.</p> <p>For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.</p> <p>Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.</p> <p>Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.</p> <p>Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column in the table below.</p>							✓	✓	✓
Windows and glazed doors glazing requirements									
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device	Frame and glass type			
			Height (m)	Distance (m)					
W01	N	3.15	0	0	eave/verandah/pergola/balcony ≥450 mm	improved aluminium, toned/air gap/clear, (U-value: 4.09, SHGC: 0.47)			
W02	N	3.15	0	0	eave/verandah/pergola/balcony ≥450 mm	improved aluminium, toned/air gap/clear, (U-value: 4.09, SHGC: 0.47)			
W03	N	2.37	0	0	eave/verandah/pergola/balcony ≥450 mm	improved aluminium, toned/air gap/clear, (U-value: 4.09, SHGC: 0.47)			
W04	N	2.37	0	0	eave/verandah/pergola/balcony	improved aluminium, toned/air gap/clear,			

Glazing requirements							Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device	Frame and glass type			
			Height (m)	Distance (m)					
					>=450 mm	(U-value: 4.09, SHGC: 0.47)			
D04	N	1.89	0	0	eave/verandah/ pergola/balcony >=450 mm	improved aluminium, toned/air gap/clear, (U-value: 4.09, SHGC: 0.47)			
D05	W	7.2	20	10	eave/verandah/ pergola/balcony >=450 mm	improved aluminium, toned/air gap/clear, (U-value: 4.09, SHGC: 0.47)			

Legend	
<div><div><div>CERTIFICATE No: CC3484772</div><div>DATE: 22/05/2023</div></div><div>Buildcert.</div></div>	<p>Information is to be read in conjunction with the Approval Documentation of:</p> <p>In these commitments, "applicant" means the person carrying out the development.</p> <p>Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).</p> <p>Commitments identified with a "✓" in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.</p> <p>Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.</p>

Statement of Environmental Effects (SEE)



CITY OF WAGGA WAGGA

Application Number:

DA22/0782

Approved By Council -

17/03/2023

ATTACHMENT C

(Development Application)

A Statement of Environmental Effects (SEE) is required to accompany all development applications. This Statement of Environmental Effects template is designed to form an attachment to the Development Application. It can only be used for certain development types (see below).

✓	Applicable Development Types
<input type="checkbox"/>	Single Residential dwelling (single storey and in a residential zone only – excluding Conservation Area)
<input checked="" type="checkbox"/>	Residential Alterations or Additions (single storey only)
<input type="checkbox"/>	Other Domestic Buildings and Structures (including swimming pool, sheds, carports, etc.)
<input type="checkbox"/>	Strata Subdivision of existing buildings
<input type="checkbox"/>	Minor works in Conservation Area (e.g. painting, cladding, plastering, re-roofing, changing materials, fittings such as doors, windows and screens, etc.)

Other development proposals must be accompanied by purpose written statements.

The SEE must address all impacts that are relevant to your proposal. **Appendix 3** of the **Development Application Preparation and Lodgement Guide** will assist you in ensuring that you have considered all of the potential impacts relevant to your proposal. Other issues not listed in Appendix 3 may also be relevant and should be included in the SEE. You are encouraged to expand upon the material provided in any way you perceive as relevant.

Where potential impacts are identified, please ensure that you provide relevant comments and information on the measures that are proposed in order to mitigate against those impacts. You may need to provide additional pages/documentation (etc.) as an attachment to this SEE.

☒ **I have provided supporting information on pages/documents attached to this SEE.**

Failure to provide the requested items will delay processing of the development application and may result in the application being returned to you for completion or additional information requests being forwarded to you from Council.

Application Details

Applicant: **James McRorie**

Lot and DP No: **Lot 1 // DP 345139**

Street No: **70**

Street: **Macleay Street**

Locality: **Turvey Park**

Description of Development

(Should include where applicable a description of matters such as proposed buildings, proposed building materials, nominated colour scheme, nature of use, staging of the development details of any demolition and other works etc.)

Proposed demolition of existing skillion section of residence. Proposed additional bathroom, laundry and open living areas. Alterations to existing residence include new ensuite and WIR. Existing living areas become 2 x bedrooms. Additional deck to rear of new living area and additional retaining walls to Northern side.

Description of Site

(Should include where applicable a description of the physical features of the site such as shape, slope, vegetation, any waterways. Also describe the current use/s on the site.)

Description:

Moderate amount of fall over site NE - SW. Existing large tree on site, not disturbed by proposed works. Existing residence and garage on site. Site is R1 - General Residential



- What is the present use and previous uses of the site?

R1 - General Residential

- Is the development site subject to any of the following natural hazards:

☐ Bushfire Prone? ☐ Flooding or stormwater inundation?

Comments:

No

(Note if the site is identified as Bushfire Prone it will be necessary to address the Planning for Bushfire Protection Guidelines and in the case of subdivision the development will be integrated. For further information please consult the NSW Rural Fire Service web site www.rfs.nsw.gov.au).

- What other constraints exist on the site?

(e.g. vegetation, easements, sloping land, drainage lines, contamination, etc.)

Moderate sloping land, existing tree in backyard.

- What types of land use and development exist on surrounding land?

R1 - General Residential

Planning Controls

- Is your proposal permissible in the zone? ☒ Yes ☐ No
- Is your proposal consistent with the zone objectives? ☒ Yes ☐ No
- Is your proposal in accordance with the relevant development control plan? ☒ Yes ☐ No

If you answered "No" to any of the above, you should make an appointment to discuss your proposal with a town planner or building surveyor before lodging a development application.

Comments:

Context and Setting

Will the development be:

- Visually prominent in the surrounding area? ☐ Yes ☒ No
- Inconsistent with the existing streetscape? ☐ Yes ☒ No
- Out of character with the surrounding area? ☐ Yes ☒ No
- Inconsistent with surrounding land uses? ☐ Yes ☒ No

Comments:

Privacy, Views and Overshadowing

- Will the development result in any privacy issues between adjoining Properties as a result of the placement of windows, decks, pergolas, private open space, etc.? ☐ Yes ☒ No
- Will the development result in the overshadowing of adjoining properties resulting in an adverse impact on solar access? ☐ Yes ☒ No
- Will the development result in any acoustic issues between adjoining properties as a result of the placement of active use outdoor areas, vehicular movement areas, air conditioners and pumps, bedroom and living room windows, etc.? ☐ Yes ☒ No
- Will the development impact on views enjoyed from adjoining or nearby properties and public places such as parks roads and footpaths? ☐ Yes ☒ No

Comments

Access, traffic and Utilities

- Is legal and practical access available to the development? ☒ Yes ☐ No
- Will the development increase local traffic movements / volumes?
If yes, by how much? ☐ Yes ☒ No
- Are additional access points to a road network required? ☐ Yes ☒ No
- Has vehicle manoeuvring and onsite parking been addressed in the design? ☐ Yes ☒ No
- Is power, water, electricity sewer and telecommunication services readily available to the site? ☒ Yes ☐ No

Comments:

Environmental Impacts

- Is the development likely to result in any form of air pollution (smoke, dust, odour etc.)? ☐ Yes ☒ No
- Does the development have the potential to result in any form of water pollution (eg. sediment run-off)? ☒ Yes ☐ No
- Will the development have any noise impacts above background noise levels (eg. Swimming pool pumps)? ☐ Yes ☒ No
- Does the development involve any significant excavation or filling? ☐ Yes ☒ No
- Could the development cause erosion or sediment run-off (including during the construction period)? ☒ Yes ☐ No
- Is there any likelihood in the development resulting in soil contamination? ☐ Yes ☒ No
- Is the development considered to be environmentally sustainable (including provision of BASIX certificate where required)? ☒ Yes ☐ No
- Is the development situated in a heritage area or likely to have an impact on any heritage item or item of cultural significance? ☐ Yes ☒ No
- Is the development likely to disturb any aboriginal artefacts or relics? ☐ Yes ☒ No

Comments:

Minor earth works for footings. Sediment control fence to be established and maintained during construction



This plan / specification is to be read in conjunction with the Approval Documentation of:
 CERTIFICATE No: CC03484772 DATE: 22/05/2023

Flora and Fauna Impacts

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(For further information on threatened species, see www.threatenedspecies.environment.nsw.gov.au)

- Will the development result in the removal of any native vegetation from the site? ☐ Yes ☒ No
- Is the development likely to have any impact on threatened species or native habitat? ☐ Yes ☒ No

(If the answer is yes to either of the above questions it may be necessary to have a formal seven-part test completed to assess the impact on threatened species – applicants are encouraged to consult Council).

Comments:

Waste and Stormwater Disposal

- How will effluent be disposed of? ☒ To Sewer ☐ Onsite
- Will liquid trade waste be discharged to Council's sewer? ☐ Yes ☒ No
- Will the development result in any hazardous waste or other waste disposal issue? ☐ Yes ☒ No
- How will stormwater (from roof and hard standing) be disposed of:
☒ Council Drainage System ☐ Other (if other provide details)
- Does the development propose to have rainwater tanks? ☐ Yes ☒ No
- Have all potential overland stormwater risks been considered in the design of the development? ☒ Yes ☐ No

Comments:

All new services connected to existing on site

Social and Economic Impacts

- Will the proposal have any economic or social consequences in the area? ☐ Yes ☒ No
- Has the development addressed any safety, security or crime prevention issues? ☐ Yes ☒ No

Comments:

Other Relevant Matters

(Refer to Appendix 3 of the *Development Application Preparation and Lodgement Guide* to ensure that you have considered all of the potential impacts relevant to your proposal. Please provide further details below or attaché additional pages if required.)

Comments:

PREPARED BY

This Statement of Environmental Effects (SoEE) has been prepared by:-

Prepared By:
(Printed)

James McRorie

Date

21/12/2022

This plan / specification is to be read in conjunction
with the Approval Documentation of:
CERTIFICATE No: CC3484772 DATE: 22/05/2023

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